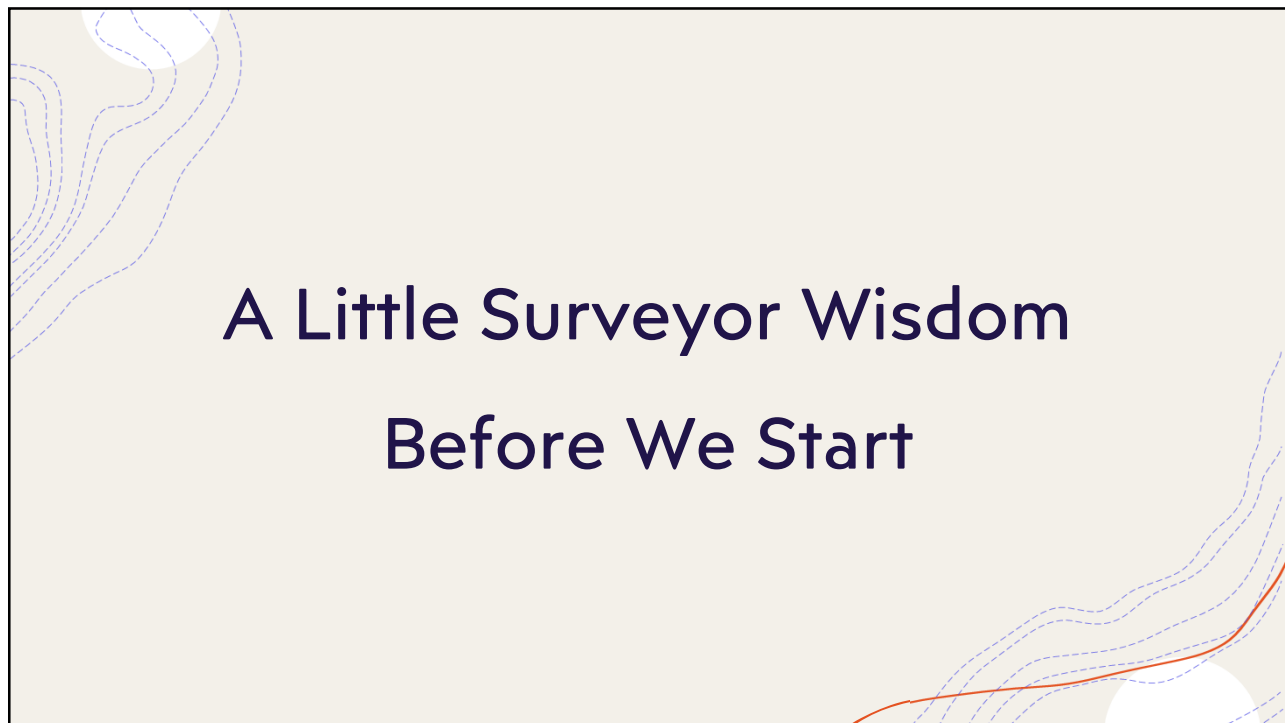




2026 ALTA/NSPS Standards

Changes and Application of New Technical Standards

1



A Little Surveyor Wisdom

Before We Start


2

Today's morning schedule calls for a 30-minute break at 9:45 AM. Please use the break as a time to chat among yourselves to keep the discussion going, to ponder any questions that may have arisen from the previous session. I challenge each of you to seek out and introduce yourself to someone that you do not know and ask them this ice breaker question: What's the furthest you have gone from home to complete a survey project? None of us have all the answers. However, within the group in this room, there is an excellent possibility that you can find someone with a similar experience to help with that stinker of a survey that you run into from time to time. This is a perfect opportunity to get to know other Professionals that may be able to help with those issues.

3

Disclaimer

- + As we get going this morning, I want to let you know that I will be reading some data from the slides.
- + This is a technical subject and reading some of the data will be inevitable due to the complexity of the standards.
- + As we go through the morning, please feel free to ask questions. As was stated earlier, none of us have all of the answers.
- + We will place the question on the Parking Lot and endeavor to get an answer before the end of the day.



4

February 23, 2026

- +The new Standards will go into effect on February 23, 2026
- +They will replace the Standards last updated in 2021

5

The Significance of February 23

Terminalia Festival

February 23 was the date of the ancient Roman festival of **Terminalia**, that was celebrated on the last day of the Roman calendar year and is dedicated to Terminus, the God of boundaries.

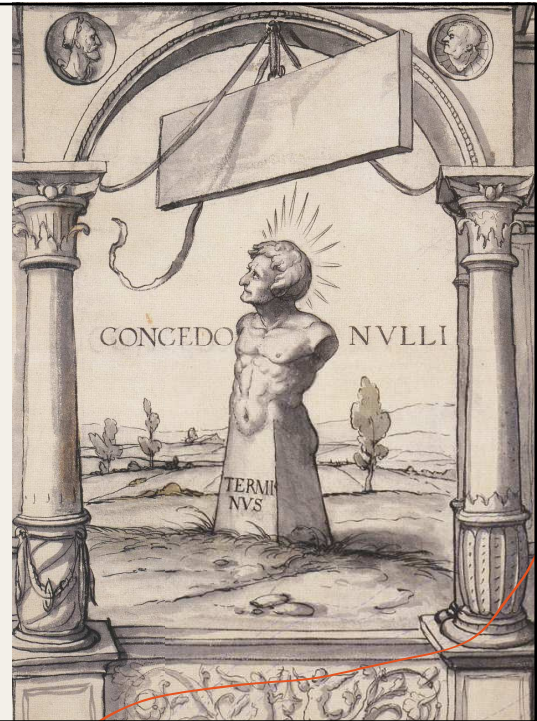
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Terminalia Festival

The festival celebrated the physical boundary markers that delineated property lines.

This practice of establishing and respecting property boundaries is fundamental to land surveying.

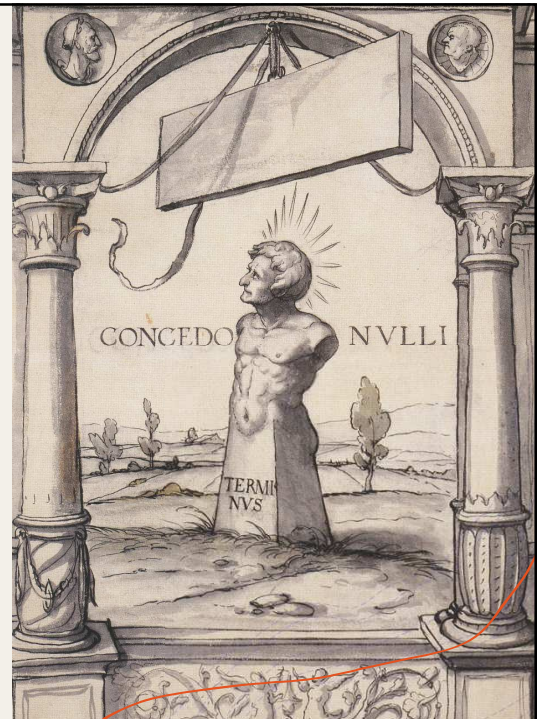
Neighbors would meet at their shared boundary marker annually for sacrifices and a feast, reinforcing peaceful coexistence and clear land demarcation.



7

Terminalia Festival

- + Romans believed that a sacrificial festival must occur at the end of each calendar year, February 23rd, in order to remain on good terms with the god.
- + These sacrifices included adorning the physical terminus (*boundary marker*) with floral garland and offerings of sweets and other meals.
- + It also included physical sacrifices of lambs or pigs.



8

Unfortunately, we see
too much of this!



9

Where it all Started

For us to fully understand why we as surveyors have such complex standards related to a Land Title Survey, we are going to take a trip down memory lane from 1962 to 2021 and briefly compare each iteration with its predecessor.

We will then go into detail on the 2026 ALTA/NSPS Standards and compare 2021 with 2026 in detail.

All of this data was taken from the NSPS website and credit is given to NSPS for this information.

10



11

1962 Standards

- + First National Standard for Title Surveys
- + A total of 4 pages
- + No Table A Items
- + The first formal ALTA survey standards
- + Created to bring uniformity and consistency to land title surveys across the United States
- + Addressed problems caused by:
 - + Varying state survey practices
 - + Inconsistent survey content
 - + Uncertainty for title insurers and lenders

Minimum Standard Detail Requirements
FOR
Land Title Surveys
as adopted by
American Title Association
(Now American Land Title Association)
and
American Congress On Surveying & Mapping

PREFACE

While the "Technical Standards for Property Surveys" adopted by the American Congress on Surveying and Mapping (ACSM) in 1946, are recognized as clear and concise technical standards for property-line surveys, and are so recommended, it is recognized that members of the American Title Association (ATA) have specific problems peculiar to title insurance matters which require particular information in detail and exactness for acceptance by title insurance companies when said companies are asked to insure title to land without exceptions as to the many matters which might be discoverable from survey and inspection and not be evidenced by public records. In the general interest of the public, the surveying profession, title insurers and abstractors, the American Title Association (ATA) and the American Congress on Surveying and Mapping (ACSM) now jointly promulgate and set forth such details and criteria for exactness. It is understood that local variations may require local adjustments to suit local situations and often must be applied. It is recognized that no professional surveyor can ethically undertake any project requiring prudent exercise of professional responsibility unless he is assured adequate compensation. It is recognized, equally, that in insuring title, title insurance companies are entitled to and should be able to rely on the evidence produced to them as the basis for his insurance, being of the highest professional quality both as to completeness and accuracy.

STANDARD DETAIL REQUIREMENTS

For a survey of real property and the plat or map of the survey to be acceptable to a title insurance company for purposes of insuring title to said real property free and clear of survey questions (except those questions dictated by the survey and indicated on the plat or map), certain specific and pertinent information must be protected for the distinct and clear understanding between the client (insured), the title insurance company (insurer) and the surveyor (the person professionally responsible for the survey). These requirements are:

1. The plat or map of such survey must bear the name, address and signature of the licensed land surveyor who made the survey, his official seal and license number (if any, or both), the date of the survey, and the caption "LAND TITLE SURVEY" with the following certification:


"I, (name of client) and (name of title insurance company, if known),
This is to certify that this map or plat and the survey on which it is based were made in accordance with the "Minimum Standard Detail Requirements for Land Title Surveys" jointly established and adopted by ATA and ACSM in 1962."
(Signed) _____ (SEAL)"
2. The title insurance company or the client, at the time of ordering a survey, should notify the sur-

1962
7

12

1985 “As-Built” Survey Specifications

- + Post Construction Survey
- + Gives direction as to what needs to be included
- + To be completed after all construction is finished
- + Includes certified boundary
- + Monumentation for boundary and construction
- + Datums defined
- + Location tolerances defined



“AS-BUILT” SURVEY SPECIFICATIONS

(A Post Construction Survey)

PREAMBLE: This “As-Built” or Post Construction survey specification is a flexible, guide document that may be modified with professional discretion in particular locations may require. The American Congress on Surveying and Mapping and its member organizations, the National Society of Professional Surveyors, recommend that when an “As-Built” survey is required, the survey should be performed substantially in conformity with this specification and that the client and surveyor should make every effort to place a copy of the survey in an appropriate public record.

SECTION 1. AUTHORITY: This specification is recommended by the National Society of Professional Surveyors, a member organization of the American Congress on Surveying and Mapping.

SECTION 2. PURPOSE OF THIS SPECIFICATION: This specification will identify tasks to be accomplished while performing an “As-Built” survey. The specification will describe what should be done, but not how to do it.

2.1 An as-built survey should be performed for computing pay penalties, locating easements, facilities and structures for creating a permanent record of such facilities.

SECTION 3. DEFINITIONS: A post construction of as-built survey is made after a facility has been constructed to obtain the necessary information for establishing a permanent record of the location of a facility. Construction and post construction surveying should be performed under the direction of a person licensed to practice surveying who is well versed in maintaining accuracy, precision, efficiency, neatness, and computing values pertaining to such surveys. An as-built survey may follow completion of construction or be made during construction if measurements of construction are completed.

SECTION 4. SERVICES AND FINAL REPORTS: An as-built survey will include, but will not be limited to the following:

- 4.1 Recovery of points that control the construction.
- 4.2 Horizontal Control: Established and referenced primary control monuments.
- 4.3 Vertical Control: Established permanent control elevations (bench marks) sufficiently identified as to date and location, and placed in secure areas so they can be used in the future.
- 4.4 The location of constructed facilities, improvements and easements.
- 4.5 The placement of electronically detectable markers for future recovery and identification of important underground facilities such as fuel, communications and electrical lines (with client approval).
- 4.6 A final drawing, indicating the horizontal and vertical location of facilities, control monuments, improvements and easements as determined by a post construction survey.

SECTION 5. INFORMATION REQUIRED: Sufficient information concerning the construction site should be furnished to the engineer by the client, the architect, the general contractor or other designated agent and should include, but not be limited to:

- 5.1 A certified boundary or right-of-way plat, and a topographic map of the site together with pertinent data. Such boundary survey is a prerequisite of the as-built survey.

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1986 Minimum Standard Detail Requirements

- + Strengthening of the ALTA-ACSM Partnership
- + Continued the joint development between:
 - + American Land Title Association (ALTA)
 - + American Congress on Surveying and Mapping (ACSM)
- + Reinforced the idea that ALTA surveys serve both surveying and title insurance needs
- + Expanded Survey Content Requirements

Minimum Standard Detail Requirements

FOR

ALTA/ACSM Land Title Surveys

as adopted by

American Land Title Association

and

American Congress On Surveying & Mapping

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For a survey of real property and the plat or map of the survey to be acceptable to a title insurance company for purposes of insuring title to said real property free and clear of survey questions (except those questions disclosed by the survey and indicated on the plat or map), certain specific and pertinent information shall be presented for the distinct and clear understanding between the client (insured), the title insurance company (insurer), and the surveyor (the person professionally responsible for the survey). These requirements are:

- (1) The client, at the time of ordering a survey, shall notify the surveyor that an “ALTA/ACSM LAND TITLE SURVEY” is required, meeting the accuracy requirements of a Class A, B, C, or D Survey as defined herein, and shall furnish to the surveyor the record description of the property and the record easements or servitudes and covenants affecting the property to which the “ALTA/ACSM LAND TITLE SURVEY” shall subsequently make reference. The names and deed data of all adjacent owners as available, and all pertinent information affecting the property being surveyed, shall be transmitted to the surveyor for notation on the plat or map of the survey. If the area of the parcel is required, the client shall so indicate to the surveyor. If the plat or map of survey is to include thereon a note as to zoning classification of the property, the client shall so clearly indicate to the surveyor. If applicable, the surveyor shall be informed by the client of any survey requirements of the Department of Housing and Urban Development, the Veterans Administration or any other government agency or entity.
- (2) The plat or map of such survey shall bear the name, address, and signature of the professional land surveyor who made the survey, his or her official seal and registration number, the date of the survey, and the caption: “ALTA/ACSM Land Title Survey” with the certification set forth in paragraph 8.
- (3) An “ALTA/ACSM LAND TITLE SURVEY” shall be Class A, B, C, or D, in accordance with the accuracy requirements of the American Congress on Surveying and Mapping.

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1986 Minimum Standard Detail Requirements

- + Compared to earlier standards, the 1986 version placed stronger emphasis on locating and showing:
- + Improvements (buildings, structures)
- + Rights-of-way and access
- + Visible encroachments
- + Evidence of possession (fences, walls, drives)

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15

1986 Minimum Standard Detail Requirements

- + Responded to commercial real estate growth
- + Expanded requirements for improvements and encroachments
- + Improved easement treatment
- + Standardized surveyor certification
- + Served as a bridge to modern ALTA standards

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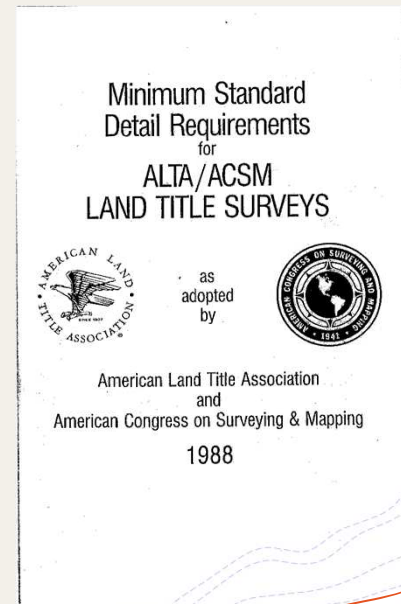
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16

1988 Minimum Standard Detail Requirements

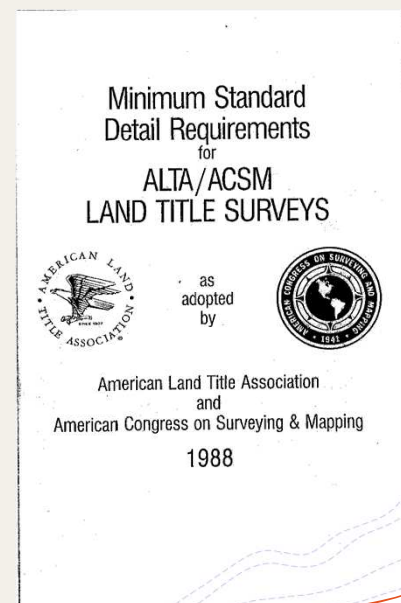
- + The 1988 standards built on and refined the 1986 version rather than reinventing it
- + Reflected continued growth in commercial lending, development, and title insurance reliance
- + Focused on clarity, consistency, and reliability of survey deliverables



17

1988 Minimum Standard Detail Requirements

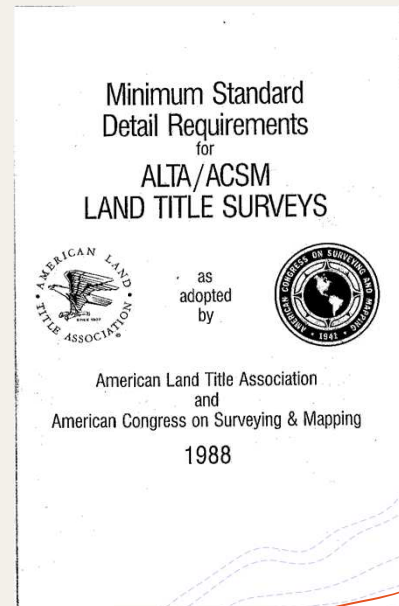
- + Increased Reliance by Title Insurers and Lenders
- + Reinforced the role of ALTA surveys as a risk-management tool
- + Surveys increasingly relied upon to:
 - + Identify potential title exceptions
 - + Reduce underwriting uncertainty
 - + Support complex commercial transactions



18

1988 Minimum Standard Detail Requirements

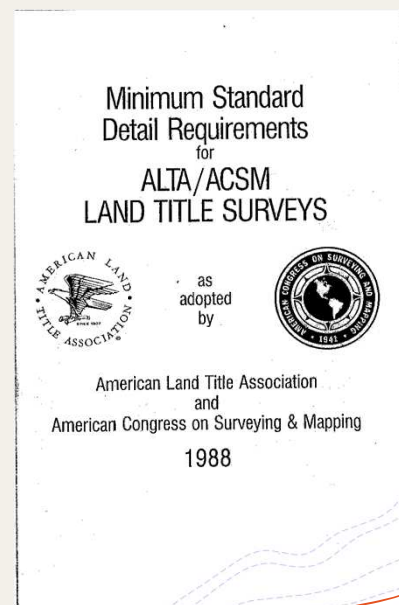
- + Enhanced Treatment of Easements and Rights-of-Way
- + Continued emphasis on showing:
 - + Apparent easements observed in the field
 - + Rights-of-way affecting or abutting the property
- + Better integration of record information supplied by title companies with field evidence



19

1988 Minimum Standard Detail Requirements

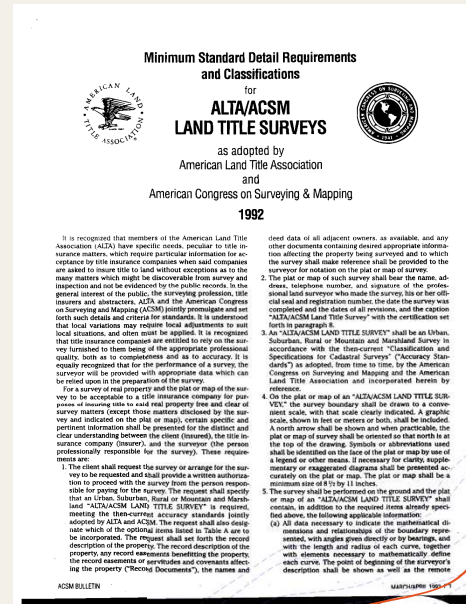
- + Identification of Encroachments and Possession Evidence
- + Strengthened expectations to locate and show:
 - + Encroachments across boundary lines
 - + Fences, walls, drives, and other evidence of possession
- + Helped title insurers assess risks related to:
 - + Boundary disputes
 - + Prescriptive rights
 - + Adverse possession



20

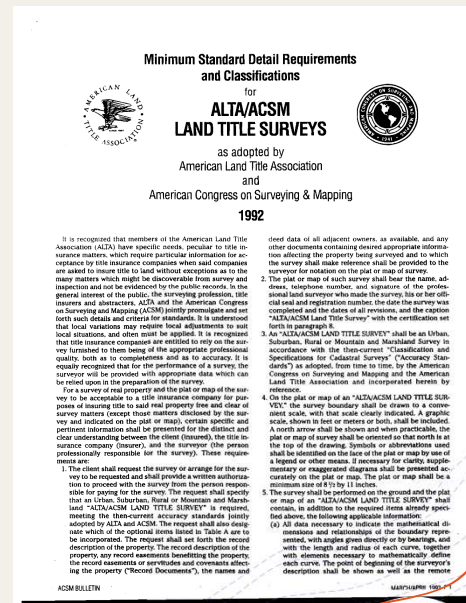
1992 Minimum Standard Detail Requirements and Classifications

- + More Explicit Surveyor Certification
- + Certification language became more uniform
- + Explicitly identified reliance by:
 - + Property owner
 - + Lender
 - + Title insurer
- + Increased professional responsibility and reliance value



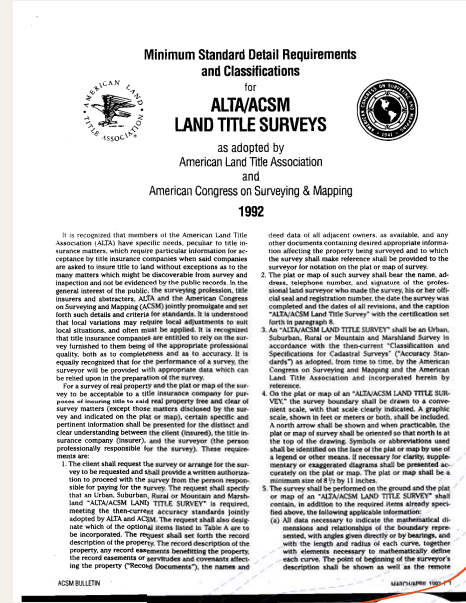
1992 Minimum Standard Detail Requirements and Classifications

- + Transitional Role in ALTA History
- + The 1992 standards are often seen as a bridge between early ALTA standards and modern practice, leading toward:
- + Expanded optional items in 1999 and 2005
- + Formalized Table A in 2011
- + More explicit accuracy and documentation requirements



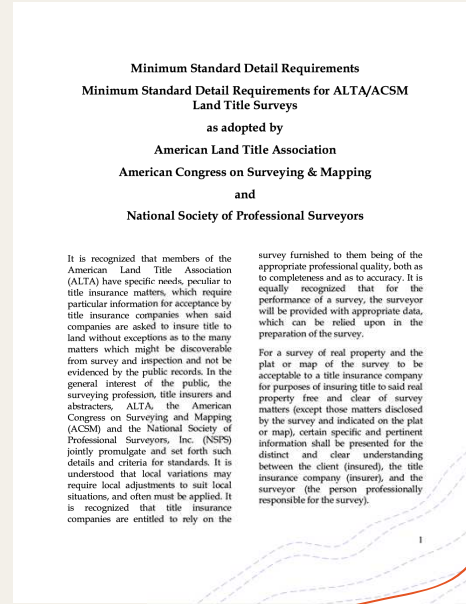
1992 Minimum Standard Detail Requirements and Classifications

- + Why the 1992 Standards Matter
- + Solidified ALTA surveys as a commercial real estate necessity
- + Improved consistency and clarity nationwide
- + Strengthened the connection between surveys and title insurance risk
- + Laid groundwork for modern customization and due diligence expectations



1997 Minimum Standard Detail Requirements

- + Recognition of Increasing Transaction Complexity in commercial lending
- + Reflected continued growth in:
 - + Large commercial developments
 - + Multi-parcel tracts
 - + National lending and underwriting
- + ALTA surveys were firmly established as a core due-diligence requirement, not an add-on



1997 Minimum Standard Detail Requirements

- + Increased Emphasis on Evidence of Possession
- + Required clearer depiction of:
 - + Fences
 - + Walls
 - + Drives and other occupation indicators
- + Helped identify risks in:
 - + Boundary disputes
 - + Prescriptive rights
 - + Adverse possession claims

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1

27

1997 Minimum Standard Detail Requirements

- + Better Defined Surveyor Responsibility
- + Surveyor judgment emphasized
- + Expectations increased for reconciling:
 - + Recorded information
 - + Field evidence
- + Professional accountability was clearly elevated

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1

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1997 Minimum Standard Detail Requirements

- + Continued Standardization of Certifications
- + Certification language continued to become more consistent nationwide
- + More reliance by:
 - + Owner
 - + Lender
 - + Title insurer
- + Reinforced the legal and financial importance of ALTA surveys

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1

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1997 Minimum Standard Detail Requirements

- + What the 1997 Standards changed
- + Allowed greater customization of surveys to transaction needs
- + Improved clarity and reliability for lenders and title insurers
- + Continued shift from boundary surveys to risk-focused title surveys
- + Helped prepare the industry for major late-1990s and 2000s revisions

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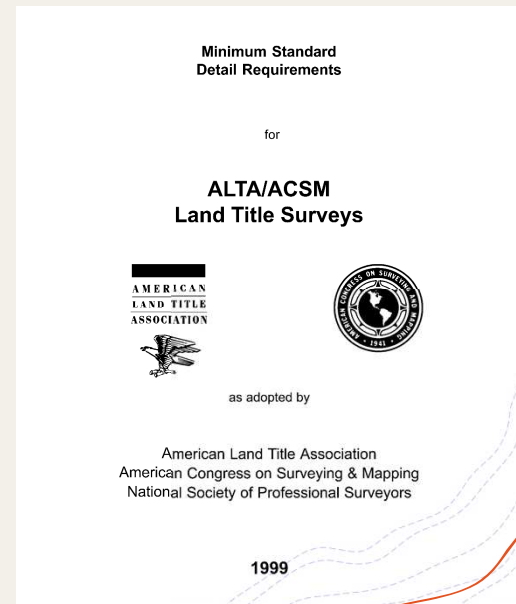
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30

1999 Minimum Standard Detail Requirements

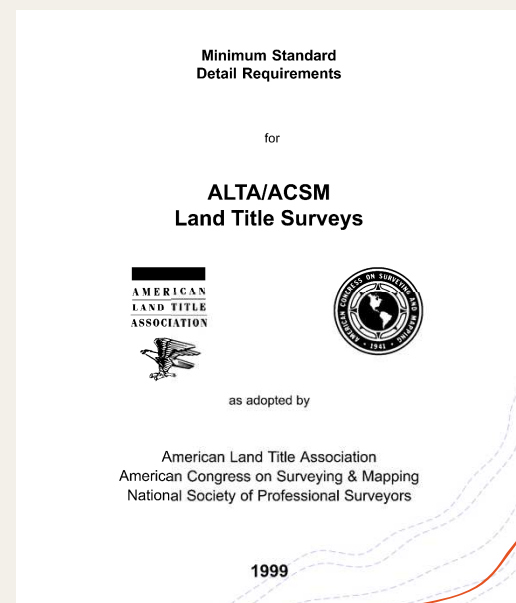
- + Expansion of Optional Survey Items
- + The 1999 standards formalized optional survey items
- + Allowed clients, lenders, and title insurers to tailor surveys to specific transaction risks
- + Represented a shift from a uniform product to a customizable due-diligence tool



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1999 Minimum Standard Detail Requirements

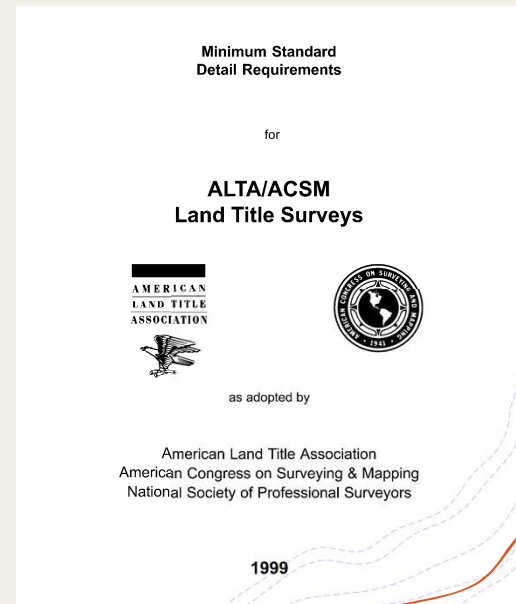
- + Increased Role of the Client and Lender
- + Survey scope increasingly driven by:
 - + Lender underwriting requirements
 - + Title insurer exceptions
 - + Transaction-specific concerns
- + Surveyors worked more closely with title commitments and lender instructions



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1999 Minimum Standard Detail Requirements

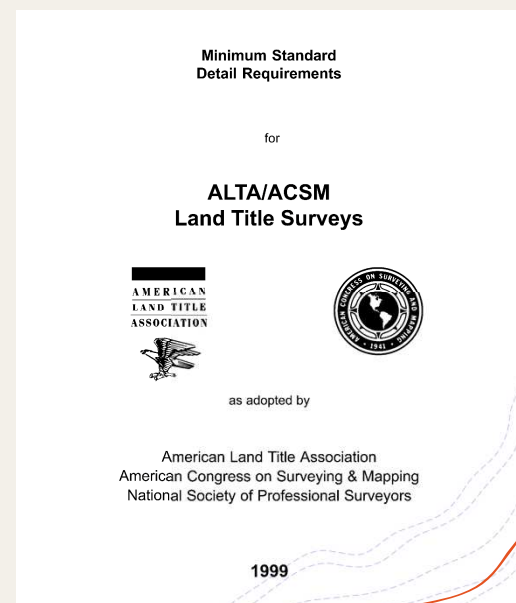
- + Enhanced Depiction of Improvements
- + Required more detailed location of:
 - + Buildings
 - + Structures
 - + Other site improvements
- + Improved identification of:
 - + Setback violations
 - + Boundary and easement conflicts



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1999 Minimum Standard Detail Requirements

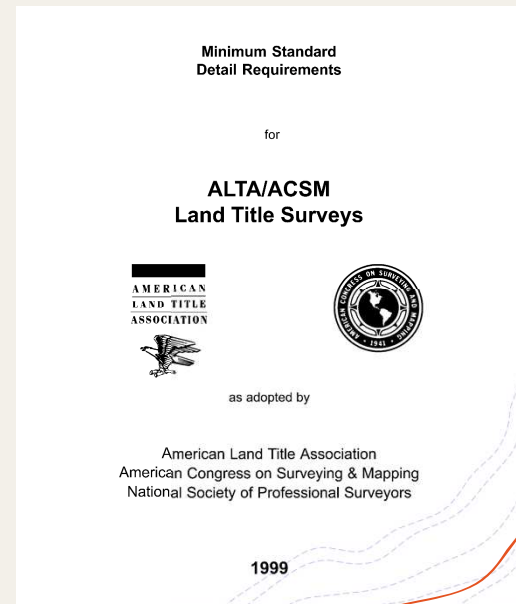
- + Emphasis on Encroachments and Possession Evidence
- + Improved identification of:
 - + Encroachments across boundary lines
 - + Fences, walls, drives, and other occupation indicators
- + Reduced risks related to:
 - + Adverse possession
 - + Prescriptive easements
 - + Boundary disputes



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1999 Minimum Standard Detail Requirements

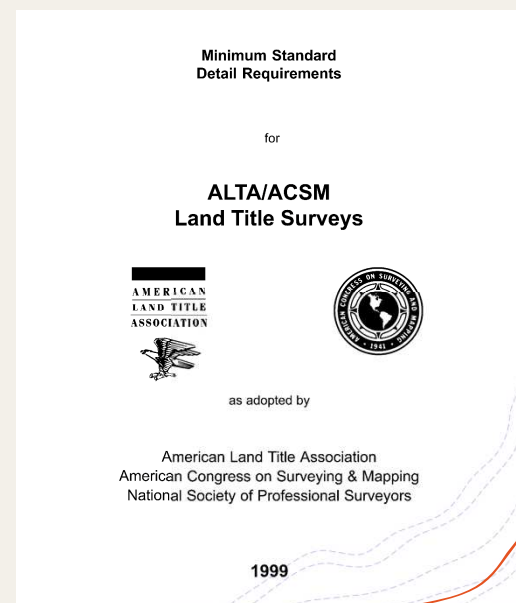
- + Enhanced Recognition of Surveyor Judgment
- + Surveyor interpretation and reconciliation of conflicting data became more critical
- + While documentation requirements were still limited, professional responsibility increased



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1999 Minimum Standard Detail Requirements

- + Foundation for Table A
- + The 1999 standards laid the groundwork for:
 - + Later refinement of optional items (2005)
 - + Formal introduction of Table A in 2011
- + Marked the transition to a menu-driven scope selection model



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2005 Minimum Standard Detail Requirements

- + Formalization of Optional Survey Items
- + Built on the 1999 expansion of optional items
- + Optional items were more clearly defined and organized
- + Standardize what clients and lenders could request, reducing confusion and inconsistency

2005 MINIMUM STANDARD DETAIL REQUIREMENTS FOR ALTA/ACSM LAND TITLE SURVEYS as adopted by American Land Title Association and National Society of Professional Surveyors (a member organization of the American Congress on Surveying and Mapping)

It is recognized that members of the American Land Title Association (ALTA) have specific needs, peculiar to title insurance matters, which require particular information for acceptance by title insurance companies when said companies are asked to insure title to land without exception as to the many matters which might be discoverable from survey and inspection and not be evidenced by the public records. In the general interest of the public, the surveying profession, the insurers and abstractors, ALTA and the National Society of Professional Surveyors, Inc. (NSPS) jointly promulgated and set forth such details and criteria for standards. It is recognized and understood that local and state standards or standards of care, which surveys in those respective jurisdictions are bound by, may augment, or even require variations to the standards outlined herein. Where conflicts between the standards outlined herein and any jurisdictional statutes or regulations occur, the more restrictive requirement shall apply. It is also recognized that title insurance companies are entitled to rely on the survey furnished to them to be of an appropriate professional quality, both as to completeness and as to accuracy. It is equally recognized that for the performance of a survey, the surveyor will be provided with appropriate data which can be relied upon in the preparation of the survey.

For a survey of real property and the plat or map of the survey to be acceptable to a title insurance company for purposes of insuring title to said real property free and clear of survey matters (except those matters disclosed by the survey and indicated on the plat or map), certain specific and pertinent information shall be presented for the distinct and clear understanding between the client (insurer), the title insurance company (insurer), and the surveyor (the person professionally responsible for the survey). These requirements are:

1. The client shall request the survey or arrange for the survey to be requested and shall provide a written authorization to proceed with the survey from the person responsible for paying for the survey. Unless specifically authorized in writing by the insurer, the insurer shall not be responsible for any costs associated with the preparation of the survey. The request shall specify that an "ALTA/ACSM LAND TITLE SURVEY" is required and shall designate which of the optional items listed in Tables A are to be incorporated. The request shall set forth the record description of the property to be surveyed or, in the case of an original survey, the record description of the parent parcel that contains the property to be surveyed. Complete copies of the record description of the property or, in the case of an original survey, the parent parcel, any record assessments benefiting the property, the record easements or servitudes and covenants bounding the property ("Record Documents"), documents of record referred to in the Record Documents, and any other documents containing detailed appropriate information affecting the property being surveyed and to which the survey shall make reference shall be provided to the surveyor for notation on the plat or map of survey.
2. The plat or map of such survey shall bear the name, address, telephone number, and signature of the professional land surveyor who performed the survey, his or her official seal and registration number, the date the survey was completed, the dates of all of the surveyor's revisions and the caption "ALTA/ACSM Land Title Survey" with the certification set forth in paragraph 8.
3. An "ALTA/ACSM LAND TITLE SURVEY" shall be in accordance with the then-current "Accuracy Standards for Land Title Surveys" ("Accuracy Standards") as adopted from time to time by the National Society of Professional Surveyors and the American Land Title Association and incorporated herein by reference.
4. On the plat or map of an "ALTA/ACSM LAND TITLE SURVEY," the survey boundary shall be drawn to a convenient scale, with the scale clearly indicated. A graphic scale, shown in feet or meters or both, shall be included. A north arrow shall be shown and the plat or map of survey shall be oriented so that north is at the top of the drawing. Symbols or abbreviations used shall be identified on the face of the plat or map by use of a legend or other means. If necessary for clarity, supplementary or magnified diagrams shall be presented accurately on the plat or map. The plat or map shall be a minimum size of 8 1/2 by 11 inches.
5. The survey shall be performed on the ground and the plat or map of an "ALTA/ACSM LAND TITLE SURVEY" shall contain, in addition to the required items already specified above, the following applicable information:
 - (a) All data necessary to indicate the mathematical dimensions and relationships of the boundary represented, with angles given directly or by bearings, and with the length and radius of each curve, together with elements necessary to mathematically define each curve. The point of beginning of the surveyor's description shall be shown as well as the remote point of beginning if different. A bearing base shall refer to some well-fixed line, so that the bearings may be easily re-established. The north arrow shall be referenced to its bearing base and should that bearing base differ from record title, that difference shall be noted.
 - (b) When record bearings or angles or distances differ from measured bearings, angles or distances, both the

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2005 Minimum Standard Detail Requirements

- + Greater Integration of Technology
- + Reflected widespread adoption of:
 - + GPS/GNSS
 - + Total stations
 - + Digital drafting and CAD
- + Acknowledged modern measurement methods while maintaining professional judgment requirements

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 - (b) When record bearings or angles or distances differ from measured bearings, angles or distances, both the

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2005 Minimum Standard Detail Requirements

- + Improved Depiction of Improvements
- + Required clearer and more complete depiction of:
 - + Buildings
 - + Structures
 - + Other site improvements
- + Supported better evaluation of:
 - + Setbacks
 - + Zoning compliance
 - + Encroachments

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2. The plat or map of such survey shall bear the name, address, telephone number, and signature of the professional land surveyor who performed the survey, his or her official seal and registration number, the date the survey was completed, the date of all of the surveyor's revisions and the caption "ALTA/ACSM Land Title Survey" with the certification set forth in paragraph 5.
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2005 Minimum Standard Detail Requirements

- + Continued Expansion of Surveyor Responsibility
- + Surveyors were expected to more actively reconcile:
 - + Record documents
 - + Field observations
- + Professional judgment became increasingly central, even if documentation requirements were still limited compared to later standards

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2005 Minimum Standard Detail Requirements

- + Standardized Certification Language
- + Certification language continued to evolve toward national consistency
- + Explicit reliance by:
 - + Owner
 - + Lender
 - + Title insurer
- + Reinforced the surveyor's role in legal and financial decision-making

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2. The plat or map of such survey shall bear the name, address, telephone number, and signature of the professional land surveyor who performed the survey, his or her official seal and registration number, the date the survey was completed, the name of the surveyor's business and the caption "ALTA/ACSM Land Title Survey" with the certification set forth in paragraph 8.
3. An "ALTA/ACSM LAND TITLE SURVEY" shall be in accordance with the then-current "Accuracy Standards for Land Title Surveys" ("Accuracy Standards") as adopted, from time to time by the National Society of Professional Surveyors and the American Land Title Association and incorporated herein by reference.
4. On the plat or map of an "ALTA/ACSM LAND TITLE SURVEY," the survey boundary shall be shown to a convenient scale, with the usual accuracy indicated. A graphic scale, shown in feet or meters or both, shall be included. The plat or map shall be oriented to the north-south meridian. The plat or map of survey shall be oriented so that north is at the top of the drawing. Symbols or abbreviations used shall be identified on the back of the plat or map by use of a legend or key. The plat or map shall be a minimum size of 8 1/2 by 11 inches.
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2011 Minimum Standard Detail Requirements

- + Introduction of Table A
- + For the first time, optional survey items were formally standardized in a table format (Table A)
- + Allowed clients, lenders, and title insurers to select optional elements consistently
- + Represented a shift toward menu-driven survey customization

American Land Title Association
 American Congress on Surveying and Mapping

Minimum Standard Detail Requirements
 For ALTA/ACSM Land Title Surveys
 Effective 2/23/2011

MINIMUM STANDARD DETAIL REQUIREMENTS FOR ALTA/ACSM LAND TITLE SURVEYS
 (Effective February 23, 2011)

1. **Purpose** - Members of the American Land Title Association (ALTA) have specific needs, unique to title insurance matters, which require particular information for acceptance by title insurance companies when said companies are asked to insure title to land without exception as to the many matters which might be discoverable from survey and inspection, and which are not evidenced by the public records.

For a survey of real property, and the plat, map or record of such survey, to be acceptable to a title insurance company for the purpose of insuring title to said real property free and clear of survey matters (except those matters disclosed by the survey and indicated on the plat or map), certain specific and pertinent information shall be presented for the distinct and clear understanding between the insured, the client (if different from the insured), the title insurance company (insurer), the lender, and the surveyor professionally responsible for the survey.

In order to meet such needs, clients, insurers, insureds, and lenders are entitled to rely on surveyors to conduct surveys and prepare associated plats or maps that are of a professional quality and appropriately uniform, complete and accurate. To that end, and in the interests of the general public, the surveying profession, title insurers and abstractors, the ALTA and the National Society of Professional Surveyors, Inc. (NSPS) jointly promulgate the within details and criteria setting forth a minimum standard of performance for ALTA/ACSM Land Title Surveys. A complete 2011 ALTA/ACSM Land Title Survey includes the on-site fieldwork required under Section 3 herein, the preparation of a plat or map showing the results of the fieldwork and its relationship to record documents as required under Section 6 herein, any information in Table A herein that may have been negotiated with the client, and the certification outlined in Section 7 herein.

2. **Request for Survey** - The client shall request the survey or arrange for the survey to be requested, and shall provide a written authorization to proceed from the person or entity responsible for paying for the survey. Unless specifically authorized in writing by the insurer, the insurer shall not be responsible for any costs associated with the preparation of the survey. The request shall specify that an "ALTA/ACSM LAND TITLE SURVEY" is required and which of the optional items listed in Table A herein, if any, are to be incorporated. Certain properties, including, but not limited to, marinas, compounds, trailer parks and leased areas, may present issues outside those normally encountered on an ALTA/ACSM Land Title Survey. The scope of work related to such properties should be discussed with the client, lender and insurer, and agreed upon in writing prior to requesting the survey. The client may need to secure permission for the surveyor to enter upon the property to be surveyed, adjoining properties, or offsite easements.

3. **Surveying Standards and Standards of Care**
 A. **Effective Date** - The 2011 Minimum Standard Detail Requirements for ALTA/ACSM Land Title Surveys are effective February 23, 2011. As of that date, all previous versions of the Minimum Standard Detail Requirements for ALTA/ACSM Land Title Surveys are superseded by these standards.

Page 1 of 10

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 American Land Title Association and
 American Congress on Surveying and Mapping



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2011 Minimum Standard Detail Requirements

- + Greater Emphasis on Accuracy and Measurement
- + Introduced the concept of Relative Positional Precision (RPP)
- + Set expectations for measurement accuracy and how positional data should be represented
- + Surveyors were required to document limitations and assumptions more clearly

American Land Title Association
American Congress on Surveying and Mapping

Minimum Standard Detail Requirements
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2011 Minimum Standard Detail Requirements

- + Improved Documentation and Explanation of Professional Judgment
- + Surveyors must explain critical decisions, especially when reconciling:
 - + Record information from title commitments
 - + Field observations of boundaries, improvements, and easements
- + Increased transparency for lenders and title insurers

American Land Title Association
American Congress on Surveying and Mapping

Minimum Standard Detail Requirements
For ALTA/ACSM Land Title Surveys
Effective 2/23/2011

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ALTA/ACSM LAND TITLE SURVEYS
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2011 Minimum Standard Detail Requirements

- + Emphasis on Risk Management
- + The survey became explicitly a risk-management tool for commercial transactions
- + Highlighted the importance of clarity, transparency, and professional accountability

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American Congress on Surveying and Mapping

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2011 Minimum Standard Detail Requirements

- + Why the 2011 Standards Matter
- + First introduction of Table A for optional items
- + Formalized scope selection and survey customization
- + Standardized certification and documentation requirements
- + Cemented the ALTA survey as a key commercial due diligence instrument

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American Congress on Surveying and Mapping

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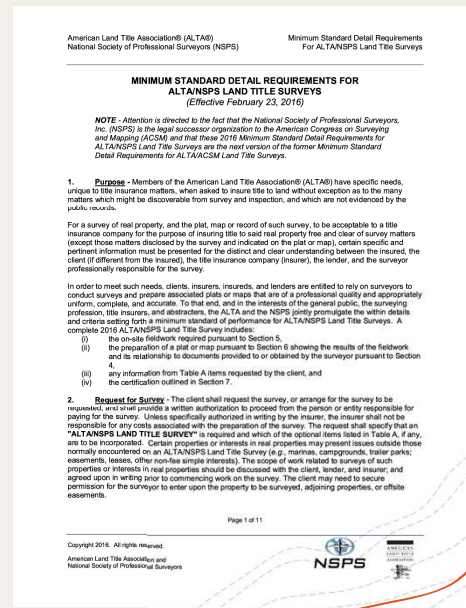
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2016 Minimum Standard Detail Requirements

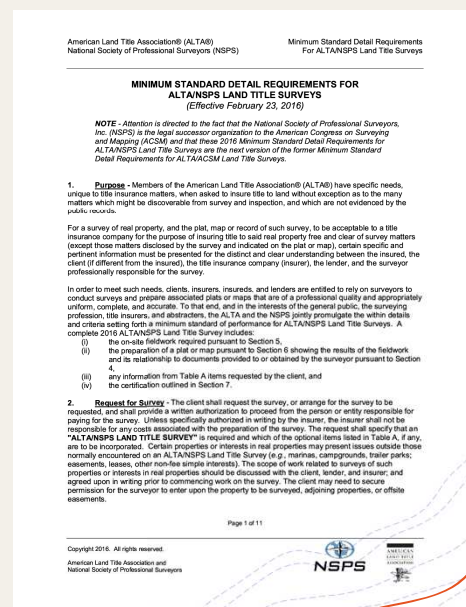
- + Official NSPS Endorsement
- + Updated standards reflected the American Congress on Surveying and Mapping (ACSM) merging into NSPS
- + The name officially became ALTA/NSPS, maintaining continuity with prior ALTA/ACSM standards
- + Reinforced professional surveyor oversight and standardization nationwide



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2016 Minimum Standard Detail Requirements

- + Clarified Scope and Optional Items
- + Optional survey items in Table A were refined for clarity and usability
- + Provided better guidance to clients, lenders, and title insurers on customizing survey scope
- + Reduced confusion from previous iterations of optional items



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2016 Minimum Standard Detail Requirements

- + Updated Surveyor Certification
- + Certification language refined for consistency and national recognition
- + Explicit reliance by:
 - + Property owners
 - + Lenders
 - + Title insurers
- + Increased legal and professional clarity regarding surveyor responsibility

American Land Title Association® (ALTA®)
National Society of Professional Surveyors (NSPS)

Minimum Standard Detail Requirements
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2016 Minimum Standard Detail Requirements

- + Emphasis on Risk Reduction and Transaction Due Diligence
- + Reinforced ALTA surveys as tools for risk assessment
- + Surveys became more transparent, auditable, and defensible for all parties in a commercial transaction
- + Highlighted the surveyor's role in identifying potential title risks

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2016 Minimum Standard Detail Requirements

- + Why the 2016 Standards Matter
- + First standards fully under ALTA/NSPS branding
- + Refined Table A optional items for clarity
- + Integrated modern surveying technology standards
- + Reinforced documentation and professional judgment
- + Strengthened risk management and transaction transparency

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2021 Minimum Standard Detail Requirements

- + Refinement of Optional Survey Items (Table A)
- + Table A items clarified and updated for better usability
- + Provided greater guidance on when and how optional items should be requested
- + Reduced ambiguity for clients, lenders, and title insurers when customizing survey scope

American Land Title Association® (ALTA®)
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B. Other Requirements and Standards of Practice - Many states and some local jurisdictions have adopted statutes, administrative rules, and/or ordinances that set out standards regulating the practice of surveying within their jurisdictions. In addition to the standards set forth herein, surveyors must also conduct their surveys in accordance with applicable jurisdictional survey requirements and standards of practice. Where conflicts between the standards set forth herein

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2021 Minimum Standard Detail Requirements

- + Enhanced Depiction of Improvements and Encroachments
- + Surveyors required to provide precise location, labeling, and explanation of:
 - + Buildings and other structures
 - + Encroachments across boundaries or easements
 - + Rights-of-way and easements
- + Improved coordination between title commitments and field observations

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2021 Minimum Standard Detail Requirements

- + Strengthened Professional Judgment Documentation
- + Surveyors must explain critical decisions, especially when reconciling conflicting record and field data
- + Increased transparency for all parties relying on the survey
- + Reinforced the surveyor's role as a risk mitigator for title and lender reliance

American Land Title Association® (ALTA®)
National Society of Professional Surveyors (NSPS)

MINIMUM STANDARD DETAIL REQUIREMENTS FOR
ALTA/NSPS LAND TITLE SURVEYS
(Effective February 23, 2021)

1. Purpose - Members of the American Land Title Association® (ALTA®) have specific needs, unique to title insurance matters, when asked to insure title to land without exception as to the many matters which might be discoverable from survey and inspection, and which are not evidenced by the public records.

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In order to meet such needs, clients, insurers, insureds, and lenders are entitled to rely on surveyors to conduct surveys and prepare associated plats or maps that are of a professional quality and appropriately uniform, complete, and accurate. To that end, and in the interests of the general public, the surveying profession, title insurers, and abstracters, the ALTA and the NSPS jointly promulgate the within details and criteria setting forth a minimum standard of performance for ALTA/NSPS Land Title Surveys. A complete 2021 ALTA/NSPS Land Title Survey includes:

- (i) the on-site fieldwork required pursuant to Section 5;
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3. Surveying Standards and Standards of Care

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- B. **Other Requirements and Standards of Practice** - Many states and some local jurisdictions have adopted statutes, administrative rules, and/or ordinances that set out standards regulating the practice of surveying within their jurisdictions. In addition to the standards set forth herein, surveyors must also conduct their surveys in accordance with applicable jurisdictional survey requirements and standards of practice. Where conflicts between the standards set forth herein

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American Land Title Association® and National Society of Professional Surveyors

NSPS

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2021 Minimum Standard Detail Requirements

- + Continued Focus on Risk Management
- + ALTA surveys emphasized as risk-reduction tools in commercial transactions
- + Surveys became more auditable, defensible, and transparent
- + Explicit guidance for surveyors on what to report and document for transaction risk management

American Land Title Association® (ALTA®)
National Society of Professional Surveyors (NSPS)

Minimum Standard Detail Requirements
For ALTA/NSPS Land Title Surveys

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2021 Minimum Standard Detail Requirements

- + Why the 2021 Standards Matter
- + Clarified optional survey items and their selection
- + Strengthened measurement accuracy and documentation requirements
- + Improved depiction of improvements, encroachments, and easements
- + Reinforced professional judgment and surveyor accountability
- + Enhanced ALTA surveys as tools for risk mitigation in commercial transactions

American Land Title Association® (ALTA®)
National Society of Professional Surveyors (NSPS)

Minimum Standard Detail Requirements
For ALTA/NSPS Land Title Surveys

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(Effective February 23, 2021)

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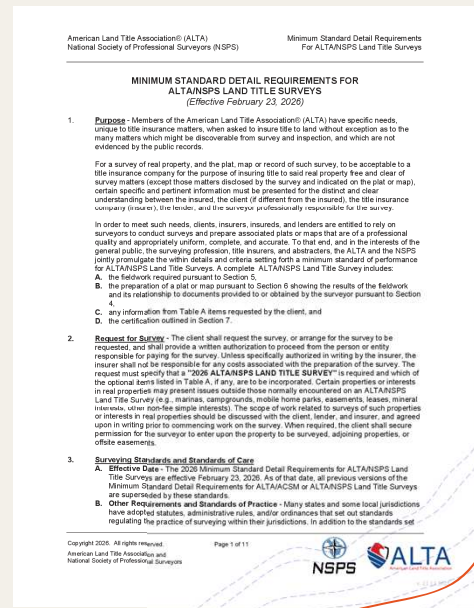
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2026 Minimum Standard Detail Requirements

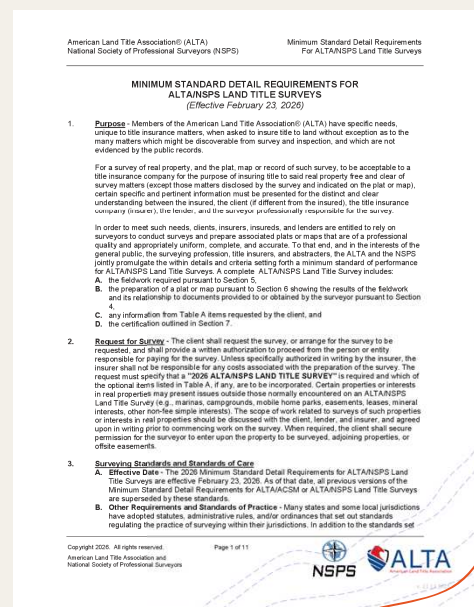
- + Clarified Language and Structure
- + The standards were revised to resolve inconsistent or confusing wording to make requirements easier to interpret for surveyors, title professionals, and clients.
- + Many sections were rewritten so responsibilities and expectations are clearer across the document



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2026 Minimum Standard Detail Requirements

- + Refined Relative Positional Precision (RPP)
- + The definition of RPP—a measure of survey accuracy—was revised and expanded.
- + The update provides clearer guidance on how RPP is calculated and how it applies in real-world contexts, helping reduce ambiguity in precision reporting.



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2026 Minimum Standard Detail Requirements

- + Title Evidence and Research
- + New guidance on how surveyors should approach title evidence when recent title commitments are unavailable.
- + Expanded examples of what qualifies as quasi-public documents that may require research by the surveyor.

American Land Title Association® (ALTA)
National Society of Professional Surveyors (NSPS)

Minimum Standard Detail Requirements
For ALTANSPS Land Title Surveys

**MINIMUM STANDARD DETAIL REQUIREMENTS FOR
ALTANSPS LAND TITLE SURVEYS**
(Effective February 23, 2026)

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2026 Minimum Standard Detail Requirements

- + Expanded Reporting of Physical Evidence
- + Surveyors must now note evidence of possession or occupation along the property perimeter, regardless of proximity to boundary lines.
- + Utility reporting is more specific:
 - + Utility poles on or within 10 feet of property lines must be shown.
 - + Other visible utilities within 5 feet must also be identified.

American Land Title Association® (ALTA)
National Society of Professional Surveyors (NSPS)

Minimum Standard Detail Requirements
For ALTANSPS Land Title Surveys

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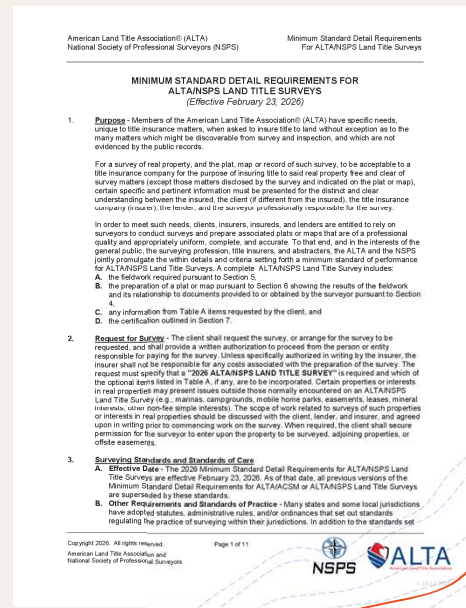
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2026 Minimum Standard Detail Requirements

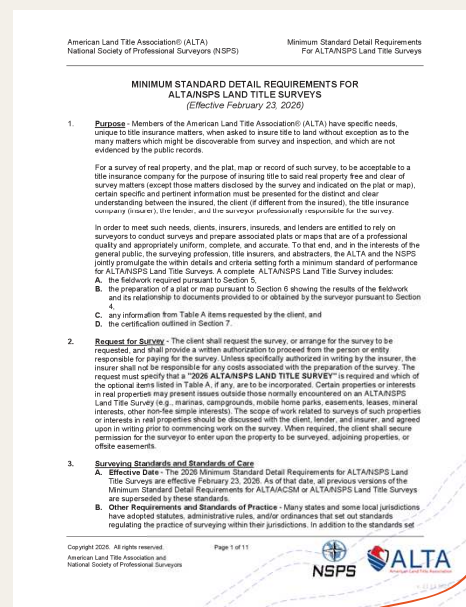
- + Documentation of Verbal Information
- + The 2026 standards require that surveyors note when material information was obtained by *parol* (verbal statements) from landowners or occupants.



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2026 Minimum Standard Detail Requirements

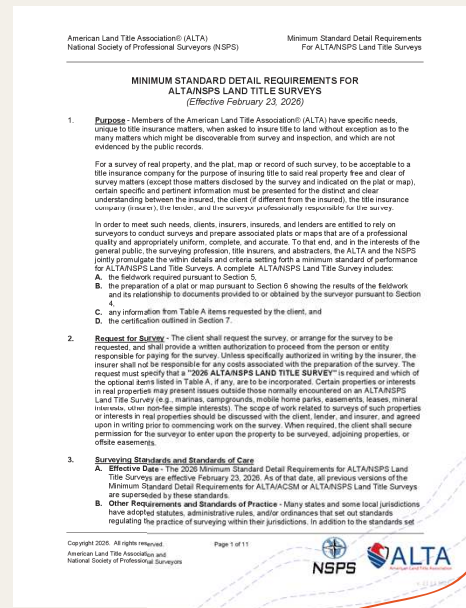
- + Certification Enhancements
- + The surveyor's certification language can now be extended, if requested, to include successors and assigns of the lender (broadening who may rely on the survey).



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2026 Minimum Standard Detail Requirements

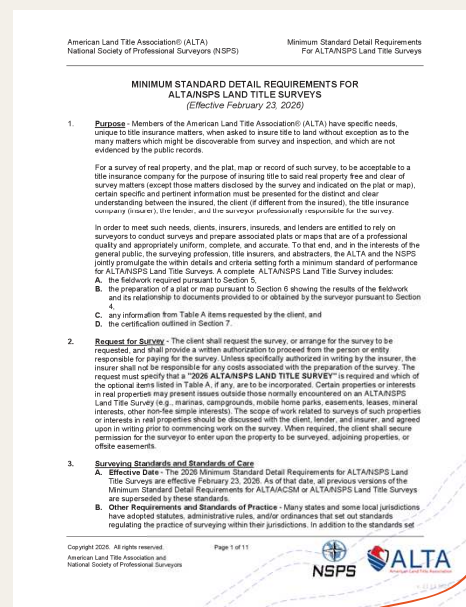
- + Updates to Table A (Optional Items)
- + Optional items are reorganized and clarified for easier selection by clients:
 - + If an optional item is required by law, it must be included in the survey.
 - + Optional features may now be shown using imagery, with explicit written documentation of the imagery's details and limitations.
 - + New Optional Item 20 allows a table on the plat/map summarizing conditions and potential encroachments, with references to their map locations.
 - + Former Table A-20 (negotiated items between surveyor and client) is renumbered as Item 21.



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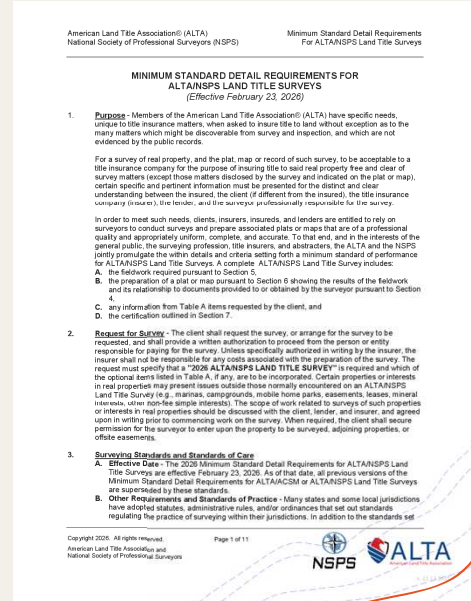
- + Emphasis on Clarity and Transparency
- + Across the update, there's a strong theme of requiring more explanation of surveyor decisions that were previously implied or assumed, such as:
 - + Why new legal descriptions were prepared
 - + Why measurements differ from recorded data
 - + Why certain areas could not be accessed
- + This results in surveys that are more transparent and understandable for all parties in a transaction.



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2026 Minimum Standard Detail Requirements

- + The 2026 ALTA/NSPS Standards mainly:
- + increase clarity, documentation, and transparency
- + refining key definitions like RPP, expanding evidence reporting (utilities, possession, verbal info), improving optional items,
- + and enhancing how surveys are documented and certified for commercial real-estate reliance.



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Title

- + MINIMUM STANDARD DETAIL REQUIREMENTS FOR ALTA/NSPS LAND TITLE SURVEYS
- + (Effective February 23, 2021-2026)

66

2026 Standards in Detail

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2026 Standards in Detail

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2026 Standards in Detail

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2026 Standards in Detail

- C. The Normal Standard of Care** - Surveyors should recognize that there may be unwritten local, state, and/or regional standards of care defined by the practice of the "prudent surveyor" in those locales.
- D. Boundary** - The boundary lines and corners of any property or interest in real property being surveyed (hereafter, the "surveyed property" or "property to be surveyed") as part of an ALTA/NSPS Land Title Survey must be established and/or retraced in accordance with appropriate boundary law principles governed by the set of facts and evidence found in the course of performing the research and fieldwork.

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Most Revised Standard

- + **E. Measurement Standards** - The following measurement standards address Relative Positional Precision for the monuments or witnesses marking the corners of the surveyed property.
- + i. **"Relative Positional Precision"** is the accepted indicator of measurement quality on an ALTA/NSPS Land Title Survey. It is defined as the length of the semi-major axis, expressed in meters or feet, of the error ellipse of the line connecting the monuments or witnesses marking adjacent boundary corners of the surveyed property at the 95 percent confidence level. Relative Positional Precision is most commonly estimated by the results of a correctly weighted least squares adjustment of the survey, or alternatively it can be estimated by the standard deviation of the distance between the monument or witness marking any boundary corner of the surveyed property and the monument or witness marking an immediately adjacent boundary corner of the surveyed property (called local accuracy) that can be computed using the full covariance matrix of the coordinate inverse between any given pair of points, understanding that Relative Positional Precision is based on the 95 percent confidence level.

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2026 Standards in Detail

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- + i. "Relative Positional Precision" **means is the accepted indicator of measurement quality on an ALTA/NSPS Land Title Survey. It is defined as** the length of the semi-major axis, expressed in meters or feet, of the error ellipse **representing the uncertainty in** of the **position of** line connecting the **monument monuments** or **witness witnesses** marking **any adjacent** boundary **corner corners** of the surveyed property **relative to the position of the monument or witness marking an immediately adjacent boundary corner of the surveyed property resulting from random errors in the measurements made in determining those positions** at the 95 percent confidence level. Relative Positional Precision **can be is most commonly** estimated by the results of a correctly weighted least squares adjustment of the survey. **Alternatively, Relative Positional Precision, or alternatively it** can be estimated by the standard deviation of the distance between the monument or witness marking any boundary corner of the surveyed property and the monument or witness marking an immediately adjacent boundary corner of the surveyed property (called local accuracy) that can be computed using the full covariance matrix of the coordinate inverse between any given pair of points, understanding that Relative Positional Precision is based on the 95 percent confidence level, **or approximately 2 standard deviations.**

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Relative Positional Precision

1. What is being defined?

- + **Relative Positional Precision (RPP)**
- + RPP describes **how precisely two boundary points are located relative to each other**, not how accurate they are to some global coordinate system.

2. "The line connecting the monuments or witnesses marking adjacent boundary corners"

- + You have **two neighboring boundary corners** of a property.
- + Each corner is marked by:
 - + a **monument** (iron pipe, rebar, stone, etc.), or
 - + a **witness** (reference point used when the true corner cannot be monumented).
- + Imagine drawing a **straight line** between those two corner points.
- + This line represents one boundary segment of the property.

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Relative Positional Precision

3. "Error ellipse"

- + Every measured point has uncertainty. Instead of being a single perfect point, its position is better represented as an **ellipse of uncertainty**.
- + The **error ellipse**:
 - + shows where the *true* point is likely to be
 - + based on your measurements, instrument precision, and survey method
- + The ellipse has:
 - + a **semi-major axis** (longest radius)
 - + a **semi-minor axis** (shorter radius)
- + When two points are considered together (the two boundary corners), their combined uncertainty affects the position of the **line between them**.

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Relative Positional Precision

- + **4. "Semi-major axis of the error ellipse"**
- + The **semi-major axis** is the **largest possible uncertainty direction**.
- + Using it is conservative—it represents the *worst-case* uncertainty for that line.
- + So the standard is saying:
- + Measure precision using the *maximum likely uncertainty*, not the best-case.

- + **5. "At the 95 percent confidence level"**
- + This means:
- + There is a **95% probability** that the true location of the line between the two corners falls **within** that ellipse.
- + Statistically:
 - + About 19 out of 20 times, the true position is inside that boundary.
 - + This is a standard confidence level used in surveying and geodesy.

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Relative Positional Precision

- + **6. "Expressed in meters or feet"**
- + The final RPP value is simply a **distance**:
- + feet (U.S. customary), or
- + meters (metric)
- + This makes it practical and comparable.

- + **7. Plain-English Restatement**
- + **Relative Positional Precision is the maximum expected uncertainty, with 95% confidence, in the position of the boundary line between two adjacent property corners, based on how precisely those corners were measured.**
- + Or even more simply:
- + **RPP tells you how close the survey says two neighboring boundary corners are to their true positions, using a statistically conservative measure of uncertainty.**

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Relative Positional Precision

- + **8. Why This Matters in ALTA Surveys**
- + It ensures **consistency** among surveyors
- + It focuses on **boundary reliability**, not mapping accuracy
- + It provides a **quantifiable precision standard** that can be tested and documented

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2026 Standards in Detail

- + **ii.** Any boundary lines and corners established or retraced may have uncertainties in location resulting from
 - + (1) the availability, condition, history and integrity of reference or controlling monuments,
 - + (2) ambiguities in the record descriptions or plats of the surveyed property or its **adjoiners** [adjoining properties](#),
 - + (3) occupation or possession lines as they may differ from the written title lines,
 - + or
 - + (4) Relative Positional Precision. Of these four sources of uncertainty, only Relative Positional Precision is controllable, although, due to the inherent errors in any measurement, it cannot be eliminated.
- + The magnitude of the first three uncertainties can be projected based on evidence; Relative Positional Precision is estimated using statistical means (see Section 3.E.i. above and Section 3.E.v. below).

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2026 Standards in Detail

iii. The first three of these sources of uncertainty must be weighed as part of the evidence in the determination of where, in the surveyor's opinion, the boundary lines and corners of the surveyed property should be located (see Section 3.D. above).

Relative Positional Precision is a measure of how precisely the surveyor is able to monument and report those positions; it is not a substitute for the application of proper boundary law principles.

A boundary corner or line may have a small Relative Positional Precision because the survey measurements were precise, yet still be in the wrong position (i.e., inaccurate) if it was established or retraced using faulty or improper application of boundary law principles.

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2026 Standards in Detail

iv. For any measurement technology or procedure used on an ALTA/NSPS Land Title Survey, the surveyor must

- (1) use appropriately trained personnel,
- (2) compensate for systematic errors, including those associated with instrument calibration, and
- (3) use appropriate error propagation and measurement design theory (selecting the proper instruments, geometric layouts, and field and computational procedures) to control random errors such that the; maximum allowable Relative Positional Precision outlined in Section 3.E.v. below is not exceeded.

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2026 Standards in Detail

v. The maximum allowable Relative Positional Precision for an ALTA/NSPS Land Title Survey is 2 cm (0.07 feet) plus 50 parts per million (based on the direct distance between the two corners being tested). It is recognized that in certain circumstances, the size or configuration of the surveyed property, or the relief, vegetation, or improvements on the surveyed property, will result in survey measurements for which the maximum allowable Relative Positional Precision may be exceeded in which case the reason shall be noted pursuant to Section 6.B.x. below.

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2026 Standards in Detail

- + 4. Records Research - It is recognized that for the performance of an ALTA/NSPS Land Title Survey, the surveyor ~~will~~ **must** be provided with appropriate and, when possible, legible data that can be relied upon in the preparation of the survey. In order to complete an ALTA/NSPS Land Title Survey, the surveyor must be provided with the following:
 - + A. Given the purpose of an ALTA/NSPS Land Title Survey, complete copies of the most recent title commitment or, if a title commitment is not available, other title evidence satisfactory to the title insurer (if a recent title commitment is not provided, in some cases, additional title research may be required on the part of and by the insurer or on the part of the surveyor due to state law);
 - + A.B. The current record description of the real property to be surveyed or, in the case of an original survey prepared for purposes of locating and describing real property that has not been previously separately described in documents conveying an interest in the real property, the current record description of the parent parcel that contains the property to be surveyed;
 - + ~~A. Complete copies of the most recent title commitment or, if a title commitment is not available, other title evidence satisfactory to the title insurer;~~

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2026 Standards in Detail

C. The following documents from records established under state statutes for the purpose of imparting constructive notice of matters relating to real property (public records):

~~i. The current record descriptions of any adjoiningers to the property to be surveyed, except where such adjoiningers are lots in platted, recorded subdivisions;~~

ii. i. Any recorded easements benefitting (i.e., appurtenant to) the property to be surveyed; ~~and~~

iii. ii. Any recorded easements, servitudes, or covenants burdening the property to be surveyed; and

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2026 Standards in Detail

- + D. If desired by the client, any unrecorded documents affecting the property to be surveyed and containing information to which the survey shall make reference.
- + Except, however, if the documents outlined in B and C of this section are not provided to the surveyor or if non-public or quasi-public documents (e.g., highway or railroad plans) are otherwise required to complete the survey, the surveyor must conduct that research which is required pursuant to the statutory or administrative requirements of the jurisdiction where the surveyed property is located and that research (if any) which is negotiated and outlined in the terms of the contract between the surveyor and the client.

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2026 Standards in Detail

- + 5. Fieldwork - The **survey fieldwork** must be performed **on** [using practices generally recognized as acceptable by the ground \(except as may be otherwise negotiated pursuant to Table A, item 15 below\), surveying profession for purposes of an ALTA/NSPS Land Title Survey](#). Except as related to the precision of the boundary, which is addressed in Section 3.E. above, features located during the fieldwork shall be located to what is, in the surveyor's professional opinion, the appropriate degree of precision based on (a) the planned use of the surveyed property, if reported in writing to the surveyor by the client, lender, or insurer, or (b) the existing use, if the planned use is not so reported. The fieldwork shall include the following:
 - + A. Monuments
 - + The location, size, character ([including relationship to surface of the ground](#)), and type of any monuments found during the fieldwork.
 - + The location, size, character ([including relationship to surface of the ground](#)), and type of any monuments set during the fieldwork, if item 1 of Table A was selected or if otherwise required by applicable jurisdictional requirements and/or standards of practice.
 - + The location, description, and character of any lines that control the boundaries of the surveyed property.

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2026 Standards in Detail

- + B. Rights of Way and Access
 - + i. The distance from the appropriate corner or corners of the surveyed property to the nearest right of way line, if the surveyed property does not abut a right of way.
 - + ii. The name of any street, highway, or other public or private way abutting the surveyed property, together with the width of the travelled way and the location of each edge of the travelled way including on divided streets and highways. If the documents provided to or obtained by the surveyor pursuant to Section 4 indicate no access from the surveyed property to the abutting street or highway, the width and location of the travelled way need not be located.

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2026 Standards in Detail

- + iii. Evidence of physical access (including vehicular access such as curb cuts and driveways) to any abutting streets, highways, or other public or private ways observed in the process of conducting the fieldwork.
- + iv. The location and character of vehicular, pedestrian, or other forms of access by other than the apparent occupants of the surveyed property to or across the surveyed property observed in the process of conducting the fieldwork (e.g., driveways, alleys, private roads, railroads, railroad sidings and spurs, sidewalks, footpaths).
- + v. Without expressing a legal opinion as to ownership or nature, the location and extent of any potentially encroaching driveways, alleys, and other ways of access from adjoining properties onto the surveyed property observed in the process of conducting the fieldwork.

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2026 Standards in Detail

- + vi. Where documentation of the location of any street, road, or highway right of way abutting, on, or crossing the surveyed property was not disclosed in documents provided to or obtained by the surveyor, or was not otherwise available from the controlling jurisdiction (see Section 6.C.iv. below), the evidence and location of parcel corners on the same side of the street as the surveyed property recovered in the process of conducting the fieldwork which may indicate the location of such right of way lines (e.g., lines of occupation, survey monuments).
- + vii. Evidence of access to and from waters adjoining the surveyed property observed in the process of conducting the fieldwork (e.g., paths, boat slips, launches, piers, docks).

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2026 Standards in Detail

- + C. Lines of Possession and Improvements along the Boundaries
- + i. The character and location of evidence of possession or occupation along the perimeter of the surveyed property, both by the occupants of the surveyed property and by [adjoining properties](#), observed in the process of conducting the fieldwork [regardless of proximity to the perimeter boundary lines](#).
- + ii. Unless physical access is restricted, the character and location of all walls, buildings, fences, and other improvements within five feet of each side of the boundary lines observed in the process of conducting the fieldwork (see Section 5.E.iv. [regarding the location of utility features](#)). Trees, bushes, shrubs, and other vegetation need not be located other than as specified in the contract, unless they are deemed by the surveyor to be evidence of possession or occupation pursuant to Section 5.C.i.

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2026 Standards in Detail

- + iii. Without expressing a legal opinion as to the ownership or nature of the potential encroachment, the evidence, location, and extent of potentially encroaching structural appurtenances and projections observed in the process of conducting the fieldwork (e.g., fire escapes, bay windows, windows and doors that open out, flue pipes, stoops, eaves, cornices, areaways, steps, trim) by or onto adjoining [properties](#), or onto rights of way, easements, or setback lines disclosed in documents provided to or obtained by the surveyor.

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2026 Standards in Detail

+D. Buildings

- + The location of buildings on the surveyed property observed in the process of conducting the fieldwork.

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2026 Standards in Detail

+ E. Easements and Servitudes

- + i. [Evidence of Documented Easements](#): Evidence of any easements or servitudes burdening the surveyed property as disclosed in the documents provided to or obtained by the surveyor pursuant to Section 4 and observed in the process of conducting the fieldwork.
- + ii. [Evidence of Undocumented Use \(Prescriptive Easements\)](#): Evidence of easements, servitudes, or other uses by other than the apparent occupants of the surveyed property not disclosed in the documents provided to or obtained by the surveyor pursuant to Section 4, but observed in the process of conducting the fieldwork if they are on or across the surveyed property (e.g., roads, drives, sidewalks, paths and other ways of access, utility service lines, utility locate markings (including the source of the markings, with a note if unknown), water courses, ditches, drains, telephone lines, fiber optic lines, electric lines, water lines, sewer lines, oil pipelines, gas pipelines).

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2026 Standards in Detail

- + iii. Indication of Underground Easements: Surface indications of underground easements or servitudes on or across the surveyed property observed in the process of conducting the fieldwork (e.g., utility cuts, vent pipes, filler pipes, utility locate markings (including the source of the markings, with a note if unknown)).
- + iv. Evidence of Utilities: Evidence on or above the surface of the surveyed property observed in the process of conducting the fieldwork, which evidence may indicate utilities located on, above, or beneath the surveyed property. Examples of such evidence include pipeline markers, utility locate markings (including the source of the markings, with a note if unknown), manholes, valves, meters, transformers, pedestals, clean-outs, overhead lines, and guy wires on and within five feet of the surveyed property, and utility poles on or and within ten feet of the surveyed property. Without expressing a legal opinion as to the ownership or nature of the potential encroachment, the extent of all potential encroaching utility pole crossmembers or overhangs.

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2026 Standards in Detail

- +F. Cemeteries
- +As accurately as the evidence permits, the perimeter of cemeteries and burial grounds, and the location of isolated gravesites not within a cemetery or burial ground, (i) disclosed in the documents provided to or obtained by the surveyor, or (ii) observed in the process of conducting the fieldwork.

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2026 Standards in Detail

- + G. Water Features
 - + i. The location of springs, ponds, lakes, streams, rivers, canals, ditches, marshes, and swamps on, running through, or outside, but within five feet of, the perimeter boundary of the surveyed property and observed during the process of conducting the fieldwork.
 - + ii. The location of any water feature forming a boundary of the surveyed property. The attribute(s) of the water feature located (e.g., top of bank, edge of water, high water mark) should be congruent with the boundary as described in the record description or, in the case of an original survey, in the new description (see Section 6.B.vi. below).

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2026 Standards in Detail

- + **6. Plat or Map** - A plat or map of an ALTA/NSPS Land Title Survey [must be prepared using practices generally recognized as acceptable by the surveying profession for purposes of an ALTA/NSPS Land Title Survey and](#) shall show the following information. Where dimensioning is appropriate, dimensions shall be annotated to what is, in the surveyor's professional opinion, the appropriate degree of precision based on
 - + (a) the planned use of the surveyed property, if reported in writing to the surveyor by the client, lender, or insurer, or
 - + (b) existing use, if the planned use is not so reported.

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2026 Standards in Detail

- +A. Field Locations. The evidence and locations gathered, and the monuments and lines located during the fieldwork pursuant to Section 5 above, with accompanying notes if deemed necessary by the surveyor or as otherwise required as specified below.

99

2026 Standards in Detail

- +B. Boundary, Descriptions, Dimensions, and Closures
 - +i. (a) The current record description of the surveyed property,
or
 - + (b) In the case of an original survey, the current record document number of the parent tract that contains the surveyed property.

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2026 Standards in Detail

- + ii. Any new description of the surveyed property that was prepared in conjunction with the survey, including a statement explaining why the new description was prepared. Except in the case of an original survey, preparation of a new description should be avoided unless deemed necessary or appropriate by the surveyor and insurer. Preparation of a new description should also generally be avoided when the record description is a lot or block in a platted, recorded subdivision. Except in the case of an original survey, if a new description is prepared, a note must be provided stating (a) that the new description describes the same real estate as the record description or, (b) if it does not, how the new description differs from the record description.
- + iii. The point of beginning, the remote point of beginning or point of commencement (if applicable) and all distances and directions identified in the record description of the surveyed property (and in the new description, if one was prepared). Where a measured or calculated dimension differs from the record by an amount deemed significant by the surveyor, such dimension must be shown in addition to, and differentiated from, the corresponding record dimension. All dimensions shown on the survey and contained in any new description must be horizontal ground dimensions unless otherwise noted.

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2026 Standards in Detail

- + iv. The direction, distance, and curve data necessary to compute a mathematical closure of the surveyed boundary. A note if the record description does not mathematically close. The basis of bearings and, where it differs from the record basis, the difference.
- + v. The remainder of any recorded lot or existing parcel, when the surveyed property is composed of only a portion of such lot or parcel, shall be graphically depicted. Such remainder need not be included as part of the actual survey, except to the extent necessary to locate the lines and corners of the surveyed property, and it need not be fully dimensioned or drawn at the same scale as the surveyed property. **vi.** When the surveyed property includes a title line defined by a water boundary, a note on the face of the plat or map noting the date the boundary was measured, which attribute(s) of the water feature was/were located, and the caveat that the boundary is subject to change due to natural causes and that it may or may not represent the actual location of the limit of title. When the surveyor is aware of natural or artificial realignments or changes in such boundaries, the extent of those changes and facts shall be shown or explained.

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2026 Standards in Detail

- + vii. The relationship of the boundaries of the surveyed property to its [adjoining properties](#) (e.g., contiguity, gaps, overlaps) where ascertainable from documents provided to or obtained by the surveyor and/or from field evidence gathered during the process of conducting the fieldwork. If the surveyed property is composed of multiple parcels, the extent of any gaps or overlaps between those parcels must be identified. Where gaps or overlaps are identified, the surveyor must, prior to or upon delivery of the final plat or map, disclose this to the insurer and client.
- + viii. When, in the opinion of the surveyor, the results of the survey differ significantly from the record, or if a fundamental decision related to the boundary resolution is not clearly reflected on the plat or map, the surveyor must explain this information with notes on the face of the plat or map.

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2026 Standards in Detail

- + ix. The location of buildings on the surveyed property dimensioned perpendicular to those perimeter boundary lines that the surveyor deems appropriate (i.e., where potentially impacted by a setback line) and/or as requested by the client, lender or insurer.
- + x. A note on the face of the plat or map explaining the site conditions that resulted in a Relative Positional Precision that exceeds the maximum allowed pursuant to Section 3.E.v.

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2026 Standards in Detail

- + xi. A note on the face of the plat or map identifying areas, if any, on the boundaries of the surveyed property, to which physical access within five feet was restricted (see Section 5.C.ii.).
- + xii. A note on the face of the plat or map identifying the source of the title commitment or other title evidence provided pursuant to Section 4, and the effective date and the name of the insurer of same.

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2026 Standards in Detail

- + C. Easements, Servitudes, Rights of Way, Access, and Documents
 - + i. The location, width, and recording information of all plottable rights of way, easements, and servitudes burdening and benefitting (i.e., appurtenant to) the surveyed property, as evidenced by documents provided to or obtained by the surveyor pursuant to Section 4.

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2026 Standards in Detail

- + ii. A summary of all rights of way, easements, and other survey-related matters burdening the surveyed property and identified in the title evidence provided to or obtained by the surveyor pursuant to Section 4. Such summary must include the record information of each such right of way, easement, or other survey-related matter, a statement indicating whether it lies within or crosses the surveyed property, and a related note [for each of the following conditions, if present:](#)
 - + a. its location is shown;
 - + b. its location cannot be determined from the record document;
 - + c. there was no observed evidence at the time of the fieldwork;
 - + d. it is a blanket easement;
 - + e. it is not on, does not touch, and/or - based on the description contained in the record document - does not affect, the surveyed property;
 - + f. it limits access to an otherwise abutting right of way;
 - + g. the documents are illegible; or
 - + h. the surveyor has information indicating that it may have been released or otherwise terminated.
- + In cases where the surveyed property is composed of multiple parcels, indicate which of such parcels the various rights of way, easements, and other survey-related matters cross or touch.

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2026 Standards in Detail

- + iii. A note if no physical access to an abutting street, highway, or other public or private way was observed in the process of conducting the fieldwork.
- + iv. The locations and widths of rights of way abutting or crossing the surveyed property and the source of such information (a) where available from the controlling jurisdiction, or (b) where disclosed in documents provided to or obtained by the surveyor pursuant to Section 4.
- + v. The identifying titles of all recorded plats, filed maps, right of way maps, or similar documents that the survey represents, wholly or in part, with their recording or filing data.

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2026 Standards in Detail

- + vi. For non-platted adjoining [properties](#), recording data and tax parcel number, identifying adjoining properties according to current [tax](#) records, [where available](#). For platted adjoining [properties](#), the recording data of the subdivision plat.
- + vii. Platted setback or building restriction lines that appear on recorded subdivision plats or that were disclosed in documents provided to, or obtained by, the surveyor.
- + viii. If in the process of preparing the survey the surveyor becomes aware of a recorded easement not otherwise listed in the title evidence provided, the surveyor must advise the insurer prior to delivery of the plat or map and, unless the insurer provides evidence that [the easement has been terminated or extinguished](#), show or otherwise explain it on the face of the plat or map, with a note that the insurer has been advised.

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2026 Standards in Detail

- + **D. Presentation**
- + i. The plat or map must be drawn on a sheet of not less than 8 ½ by 11 inches in size at a legible, standard engineering scale, with that scale clearly indicated in words or numbers and with a graphic scale.
- + ii. The plat or map must include:
 - a. The boundary of the surveyed property drawn in a manner that distinguishes it from other lines on the plat or map.
 - b. If no buildings were observed on the surveyed property in the process of conducting the fieldwork, a note stating "*No buildings observed.*"
 - c. A north arrow (with north to the top of the drawing when practicable).
 - d. A legend of symbols and abbreviations.
 - e. A vicinity map showing the surveyed property in reference to nearby highway(s) or major street intersection(s).
 - f. Supplementary or detail diagrams when necessary.

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2026 Standards in Detail

- g. Notes explaining any modifications to Table A items and the nature of any additional Table A items (e.g., 21(a), 21(b), 21(c)) that were negotiated between the surveyor and client.
- h. The surveyor's project number (if any), and the name, registration or license number, signature, seal, street address, telephone number, company website, and email address (if any) of the surveyor who performed the survey.
- i. The date(s) of any revisions made by the surveyor who performed the survey.
- j. Sheet numbers where the plat or map is composed of more than one sheet.
- k. The caption "ALTA/NSPS Land Title Survey."
- l. [Notation of any parol statements by interested landowners or occupants as to title or boundary issues relating to the surveyed property.](#)

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2026 Standards in Detail

- [iii.](#) When recordation or filing of a plat or map is required by state [statute, administrative rule or local ordinance](#), such plat or map shall be produced in the required form [and at a legible scale](#).

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2026 Standards in Detail

+ 7. Certification -

A. The plat or map of an ALTA/NSPS Land Title Survey must bear only the following **unaltered** certification except as may be required pursuant to Section 3.B. above:

"To (name of insured, if known), (name of lender, if known), (name of insurer, if known), (names of others as negotiated with the client):

This is to certify that this map or plat and the survey on which it is based were made in accordance with the 2026 Minimum Standard Detail Requirements for ALTA/NSPS Land Title Surveys, jointly established and adopted by ALTA and NSPS, and includes Items

_____ of Table A thereof. The fieldwork was completed on _____ [date].

+ *Date of Plat or Map: _____ (Surveyor's signature, printed name and seal with Registration/License Number)"*

B. Certification may be extended to successors and assigns of the lender if requested.

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2026 Standards in Detail

+ **8. Deliverables** - The surveyor shall furnish copies of the plat or map of survey to the insurer and client and as otherwise negotiated with the client. Hard copies shall be on durable and dimensionally stable material of a quality standard acceptable to the insurer. A digital image of the plat or map may be provided in addition to, or in lieu of, hard copies pursuant to the terms of the contract. If the surveyor is required to record or file a plat or map pursuant to state statute, administrative rule or local ordinance it **must** be so recorded or filed.

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2026 Standards in Detail

+ **TABLE A**

OPTIONAL SURVEY RESPONSIBILITIES AND SPECIFICATIONS

NOTE: When any of the first twenty (20) items of Table A are selected, the exact wording of and fee for any selected item may be negotiated between the surveyor and client. Note that some items may be required by state statute, administrative rule or local ordinance in which case they must be included pursuant to Section 3.B. Any additional items negotiated between the surveyor and client must be identified as 21(a), 21(b), etc. Any additional items negotiated between the surveyor and client, and any negotiated changes to the wording of a Table A item, must be explained pursuant to Section 6.D.ii.(g). Notwithstanding Table A Items 5 and 11, if an engineering design survey is desired as part of an ALTA/NSPS Land Title Survey, such services should be negotiated under Table A, Item 21.

If checked, the following optional items are to be included in the ALTA/NSPS LAND TITLE SURVEY, except as otherwise qualified (see note above):

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2026 Standards in Detail

+ **TABLE A**

OPTIONAL SURVEY RESPONSIBILITIES AND SPECIFICATIONS

1. _____ Monuments placed (or a reference monument or witness to the corner) at all major corners of the boundary of the surveyed property, unless already marked or referenced by existing monuments or witnesses in close proximity to the corner.
2. _____ Address(es) of the surveyed property if disclosed in documents provided to or obtained by the surveyor, or observed while conducting the fieldwork.
3. _____ Flood zone classification (with proper annotation based on federal Flood Insurance Rate Maps or the state or local equivalent) depicted by scaled map location and graphic plotting only.
4. _____ Gross land area (and other areas if specified by the client).

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2026 Standards in Detail

+ TABLE A

OPTIONAL SURVEY RESPONSIBILITIES AND SPECIFICATIONS

5. _____ Vertical relief with the source of information (e.g., ground survey, aerial map), contour interval, datum, with originating benchmark, when appropriate.
6. _____ (a) If the current zoning classification, setback requirements, the height and floor space area restrictions, and parking requirements specific to the surveyed property are set forth in a zoning report or letter provided to the surveyor by the client or the client's designated representative, list the above items on the plat or map and identify the date and source of the report or letter.
 _____ (b) If the zoning setback requirements specific to the surveyed property are set forth in a zoning report or letter provided to the surveyor by the client or the client's designated representative, and if those _____ requirements do not require an interpretation by the surveyor, graphically depict those requirements on the _____ plat or map and identify the date and source of the report or letter.

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2026 Standards in Detail

+ TABLE A

OPTIONAL SURVEY RESPONSIBILITIES AND SPECIFICATIONS

7. _____ (a) Exterior dimensions of all buildings at ground level.
 _____ (b) Square footage of:
 _____ (1) exterior footprint of all buildings at ground level.
 _____ (2) other areas as specified by the client.
 _____ (c) Measured height of all buildings above grade at a location specified by the client. If no location is specified, the point of measurement shall be identified.
8. _____ Substantial features observed in the process of conducting the fieldwork (in addition to the improvements and features required pursuant to Section 5 above) (e.g., parking lots, billboards, signs, swimming pools, landscaped areas, substantial areas of refuse).

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2026 Standards in Detail

+ **TABLE A**

OPTIONAL SURVEY RESPONSIBILITIES AND SPECIFICATIONS

9. _____ Number and type (e.g., disabled, motorcycle, regular, and other marked specialized types) of clearly identifiable parking spaces on surface parking areas, lots, and in parking structures. Striping of clearly identifiable parking spaces on surface parking areas and lots.
10. _____ As designated by the client, a determination of the relationship and location of certain division or party walls with respect to adjoining properties.

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2026 Standards in Detail

+ **TABLE A**

OPTIONAL SURVEY RESPONSIBILITIES AND SPECIFICATIONS

11. Evidence of underground utilities existing on or serving the surveyed property (in addition to the observed evidence of utilities required pursuant to Section 5.E.iv.) as determined by:
 - _____ (a) plans and/or reports provided by client (with reference as to the sources of information)
 - _____ (b) markings coordinated by the surveyor or client pursuant to a private utility locate request.

Note to the client, insurer, and lender - With regard to Table A, item 11, information from the sources checked above will be combined with observed evidence of utilities pursuant to Section 5.E.iv. to develop a view of the underground utilities. However, lacking excavation, the exact location of underground features cannot be accurately, completely, and reliably depicted. In addition, in some jurisdictions, 811 or other similar utility locate requests from surveyors may be ignored or result in an incomplete response, in which case the surveyor shall note on the plat or map how this affected the surveyor's assessment of the location of the utilities. Where additional or more detailed information is required, the client is advised that excavation may be necessary.

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2026 Standards in Detail

+ TABLE A

OPTIONAL SURVEY RESPONSIBILITIES AND SPECIFICATIONS

12. _____ As specified by the client, Governmental Agency survey-related requirements (e.g., HUD surveys, surveys for leases on Bureau of Land Management managed lands). The relevant survey requirements are to be provided by the client or client's designated representative.
13. _____ Names of owners of adjoining properties according to current tax records. If more than one owner, identify the first owner's name listed in the tax records followed by "et al."
14. _____ Distance to the nearest intersecting street.

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2026 Standards in Detail

+ TABLE A

OPTIONAL SURVEY RESPONSIBILITIES AND SPECIFICATIONS

15. _____ Features, other than the boundary survey portion of an ALTA/NSPS Land Title Survey and the location of features in close proximity to a boundary or other title or relevant setback line, may be shown using imagery; however, the surveyor must:
 - a. agree with the client in writing on imagery to utilize, including source, date and/or version of imagery, and licensing costs and requirements.
 - b. discuss the ramifications of such practices (e.g., the potential accuracy, precision and completeness of the imagery gathered thereby) with the insurer, lender, and client prior to the performance of the survey, and
 - c. place a note on the face of the survey explaining the source, date, precision, and other relevant qualifications of any such imagery.

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2026 Standards in Detail

+ **TABLE A**

OPTIONAL SURVEY RESPONSIBILITIES AND SPECIFICATIONS

16. _____ Evidence of recent earth moving work, building construction, or building additions observed in the process of conducting the fieldwork.
17. _____ Proposed changes in street right of way lines, if such information is made available to the surveyor by the controlling jurisdiction. Evidence of recent street or sidewalk construction or repairs observed in the process of conducting the fieldwork.

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2026 Standards in Detail

+ **TABLE A**

OPTIONAL SURVEY RESPONSIBILITIES AND SPECIFICATIONS

18. _____ Pursuant to Sections 5 and 6 (and applicable selected Table A items, excluding Table A item 1), include as part of the survey any plottable offsite (i.e., appurtenant) easements disclosed in documents provided to or obtained by the surveyor.
19. _____ Professional liability insurance policy obtained by the surveyor in the minimum amount of \$_____ to be in effect throughout the contract term. Certificate of insurance to be furnished upon request, but this item shall not be addressed on the face of the plat or map, unless required by the jurisdiction.

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2026 Standards in Detail

+ TABLE A

OPTIONAL SURVEY RESPONSIBILITIES AND SPECIFICATIONS

20. When observed in the process of conducting the fieldwork or otherwise identified in the process of preparing the survey the following conditions and potential encroachments must be summarized in a table and indicated on the face of the plat or map. Without expressing a statement of legal opinion or an opinion as to ownership, the table must identify the physical conditions, and provide a means by which the conditions can be readily located on the face of the plat or map by a reviewer; however, this table may not be a comprehensive list of all concerns shown on the plat or map of the survey.

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2026 Standards in Detail

+ TABLE A

OPTIONAL SURVEY RESPONSIBILITIES AND SPECIFICATIONS

- Potential encroachments over boundary lines onto the surveyed property from adjoining property and onto adjoining property from the surveyed property.
- Potential encroachments into rights of way and easements for which written documentation of the existence of such rights of way and easements was provided to or obtained by the surveyor pursuant to Section 4.
- Potential encroachments of front, side or rear setbacks, but only when the setback requirements specific to the surveyed property were provided to the surveyor pursuant to Table A item 6(a) or 6(b) or provided in recorded documents.
- Physical access between adjoining parcels without benefit of an easement for which written documentation of the existence of such easement was provided to or obtained by the surveyor pursuant to Section 4.
- Use of adjoining parcels by apparent occupants of the surveyed property without benefit of an easement for which written documentation of the existence of such easement was provided to or obtained by the surveyor pursuant to Section 4.

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+ TABLE A

OPTIONAL SURVEY RESPONSIBILITIES AND SPECIFICATIONS

21. _____ *Fill in the blank*

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The End



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